

# CITY LIGHTS LOT 1

LOT 1 SW CARDINELL WAY PORTLAND, OR 97201



## PROJECT TEAM:

### ARCHITECT:

TAHRAN ARCHITECTURE & PLANNING LLC  
 CONTACT: RALPH TAHRAN  
 ADDRESS: 13741 KNAUS ROAD LAKE OSWEGO, OR 97034  
 PHONE: 503 539 8802  
 FAX: 503 697 1985  
 EMAIL: ralph.tahran@comcast.net

### OWNER:

CITY LIGHTS DEVELOPMENT LLC  
 CONTACT: JIM PRASSAS  
 ADDRESS: 1411 W 180TH ST #360 GARDENA, CA 90248  
 PHONE: 310-217-4533  
 FAX: 310-217-4530  
 EMAIL: jmpsteel@yahoo.com

### CONTRACTOR:

CONTACT: .  
 ADDRESS: .  
 PHONE: .  
 FAX: .  
 EMAIL: .

### CIVIL ENGINEER:

CONTACT: .  
 ADDRESS: .  
 PHONE: .  
 FAX: .  
 EMAIL: .

### STRUCTURAL ENGINEER:

ABBASI DESIGN WORKS  
 CONTACT: RAHIM ABBASI  
 ADDRESS: 510 SW 5TH AVE, PORTLAND, OR 97204  
 PHONE: 503.816.9466  
 FAX: .  
 EMAIL: rahim@abbasidesign.com

## DRAWING INDEX:

### ARCHITECTURAL

C	COVER SHEET AND DRAWING INDEX
CC	PERPECTIVE
A0.1	PROJECT INFORMATIONS
A0.2	ASSEMBLY TYPE
A0.4	FLOOR AREA CALCULATION
A1.0	EXISTING CONDITION
A1.1	SITE PLAN
A1.2	SITE PLAN DETAILS
A2.1	MAIN FLOOR PLAN
A2.2	UPPR FLOOR PLAN
A2.3	FIRST LOWER FLOOR PLAN
A2.4	SECOND LOWER FLOOR PLAN
A2.5	ROOF PLAN
A2.6	STAIR PLAN AND DETAILS
A2.7	STAIR SECTION AND DETAILS
A2.8	ELEVATOR PLAN AND SECTION
A3.1	SOUTH & NORTH ELEVATIONS
A3.2	EAST ELEVATION DETAILS
A3.3	WEST ELEVATION & DETAILS
A4.1	LOGITUDINAL SECTION & DETAILS
A4.2	LOGITUDINAL SECTION & DETAILS
A4.3	LOGITUDINAL SECTION & DETAILS
A4.4	CROSS SECTION & DETAILS
A4.5	CROSS SECTION & DETAILS
A4.6	CROSS SECTION & DETAILS
A5.1	ENLARGE WALL SECTIONS
A5.2	ENLARGE WALL SECTIONS
A5.3	EXTERIOR DETAILS
A7.1	WINDOW SCHEDULE
A8.1	DOOR SCHEDULE



TAHRAN ARCHITECTURE & PLANNING LLC  
 13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034  
 T (503) 539 8802 | F (503) 697 1985 | e ralph.tahran@comcast.net

LOT 1 CITY LIGHTS RESIDENCE  
 LOT 1 SW CARDINELL WAY PORTLAND, OR 97201

CHECKED BY RALPH TAHRAN  
 DRAWN BY ROM  
 NO. DATE ISSUE/REVISION  
 0 12.27.17 PERMIT SET

PROJ NO.  
 2015-027

10-05-15

SHEET CONTENTS  
 PERSPECTIVE  
 INDEX SHEET

SHEET NUMBER

C

PERMIT SET 12-27-17

# CITY LIGHTS LOT 1

LOT 1 SW CARDINELL WAY PORTLAND, OR 97201



TAHRAN ARCHITECTURE & PLANNING, LLC  
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034  
T (503) 539 8602 | F (503) 697 1985 | e ralph.tahr@tahrancpa.net

## PERSPECTIVE



TAHRAN ARCHITECTURE & PLANNING, LLC  
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034  
T (503) 539 8602 | F (503) 697 1985 | e ralph.tahr@tahrancpa.net

LOT 1 CITY LIGHTS RESIDENCE  
LOT 1 SW CARDINELL WAY PORTLAND, OR 97201

CHECKED BY	RALPH TAHRAN
DRAWN BY	RM
NO. DATE	ISSUE/REVISION
0 12.27.17	PERMIT SET

PROJ NO.  
2015-027

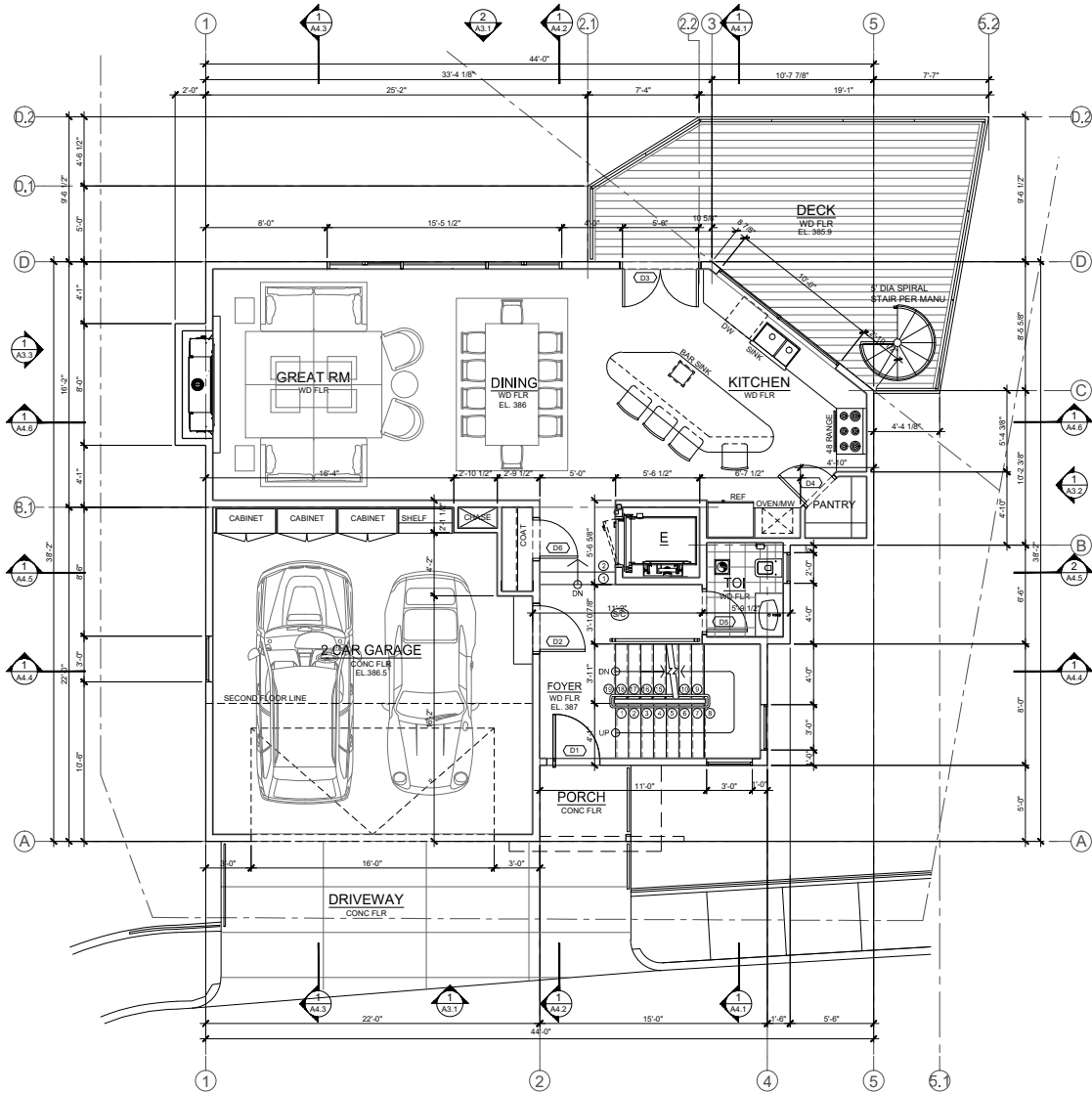
10-05-15

SHEET CONTENTS  
PERSPECTIVE

SHEET NUMBER

# CC

PERMIT SET 12-27-17



**1 MAIN FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

- NOTES:**
- A0.2 WALL ASSEMBLY
  - A7.1 SCHEDULE OF WINDOWS
  - A8.1 SCHEDULE OF DOORS
- LEGEND**
- SHEAR WALL LOCATION  
SEE S1.0 SHEAR WALL SCHEDULE
  - EXTERIOR/ INTERIOR WALL
  - RECESSED EXHAUST FAN VENTED TO OUTSIDE.  
FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A  
SELF-TIME TO DEHUMIDISTATE.
  - SMOKE DETECTOR LOCATIONS
  - COMBINATION SMOKE/ CARBON MONOXIDE  
DETECTOR LOCATIONS

**PLAN NOTES:**

- REFERENCE DETAILS XXX.X AND XXX.X FOR INTERIOR DOOR TRIM DETAILS.
- PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL
- ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2014 OREGON RESIDENTIAL SPECIALTY CODE.  
ENVELOPE ENHANCEMENT MEASURE 2  
HIGH EFFICIENCY ENVELOPE  
EXTERIOR WALL - U-0.056/R-21; INTERMEDIATE FRAMING AND VALUED CEILING - U-0.033/R-30-A (ADVANCED ATTIC FRAMING, FLAT CEILING U-0.025/R-49 AND FRAME DOORS - U-0.025/R-38 AND WINDOW - U-0.30, AND DOORS- ALL DOORS U-0.10. OR ADDITIONAL 1% OF PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMP OR CONSERVATION MEASURE D AND E.  
CONSERVATION MEASURE A  
HIGH EFFICIENCY HVAC SYSTEM:  
GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90%OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0.  
NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.
- PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS.  
AF103.4. CRACKS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.  
AF103.4.3. CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.  
AF103.4.5. PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.  
AF103.4.6. THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.  
AF103.4.7. AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.  
EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE.  
AF103.4.8. DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1. DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO DOE DUCT PERFORMANCE STANDARDS.  
AF103.4.9. CRAWL SPACE FLOORS OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CALKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.  
AF103.4.10. ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CALKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.  
SECTION AF103.5.2. OPTION USED.  
AF103.5.2.1. VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN- SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)  
AF103.5.2.2. VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION.  
AF103.5.2.3. BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY DWELLING TO BE TESTED WITH A BLOWER DOOR, DEPRESSURING TO 0.5 PASCALS FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR. A MECHANICAL EXHAUST SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE-BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.  
(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A WHOLE-HOUSE VENTILATION SYSTEM).

**FLOOR AREA CALCULATION**

LOWER FLOOR	1,432 SF
MAIN FLOOR	990 SF
UPPER FLOOR	1,157 SF
<b>TOTAL FLR AREA</b>	<b>3,563 SF</b>
GARAGE	441 SF
ENTRY	30 SF
DECK - 1ST LOWER FLOOR	317 SF
DECK - 2ND LOWER FLOOR	317 SF
DECK - MAIN FLOOR	317 SF
DECK - UPPER FLOOR	67 SF
<b>TOTAL DECK AREA</b>	<b>1,018 SF</b>



**TAHRAN ARCHITECTURE & PLANNING, LLC**  
 13741 KNIAUS ROAD LAKE OSWEGO, OREGON 97034  
 T (503) 639 8602 | F (503) 697 1985 | e ralph.tahran@cmcaast.net

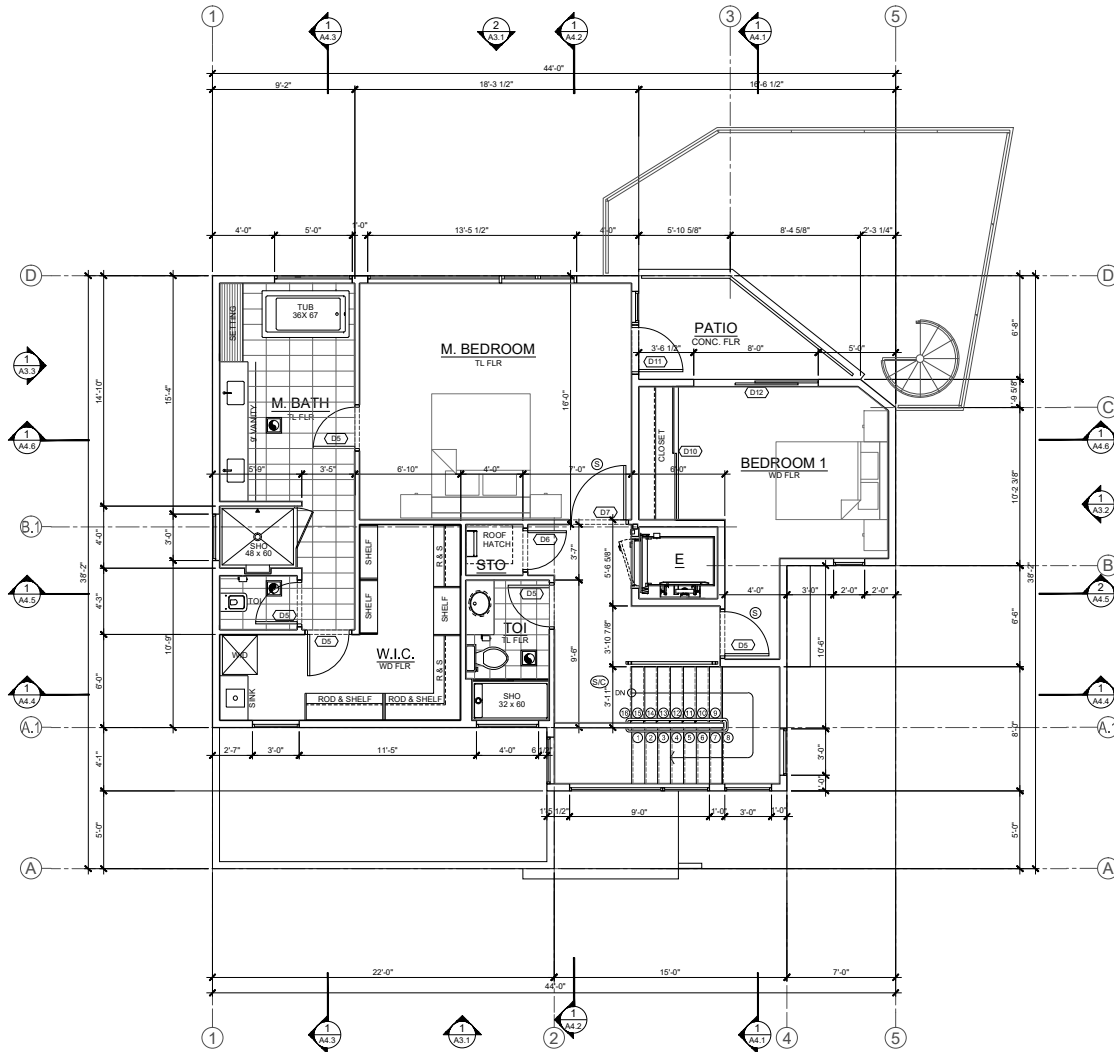
**LOT 1 CITY LIGHTS RESIDENCE**  
 LOT 1 SW CARDINELL WAY PORTLAND, OR 97201

CHECKED BY RALPH TAHRAN  
 DRAWN BY RM  
 NO. DATE ISSUE/REVISION  
 0 12.27.17 PERMIT SET

PROJ NO.  
 2015-027  
**10-05-15**  
 SHEET CONTENTS

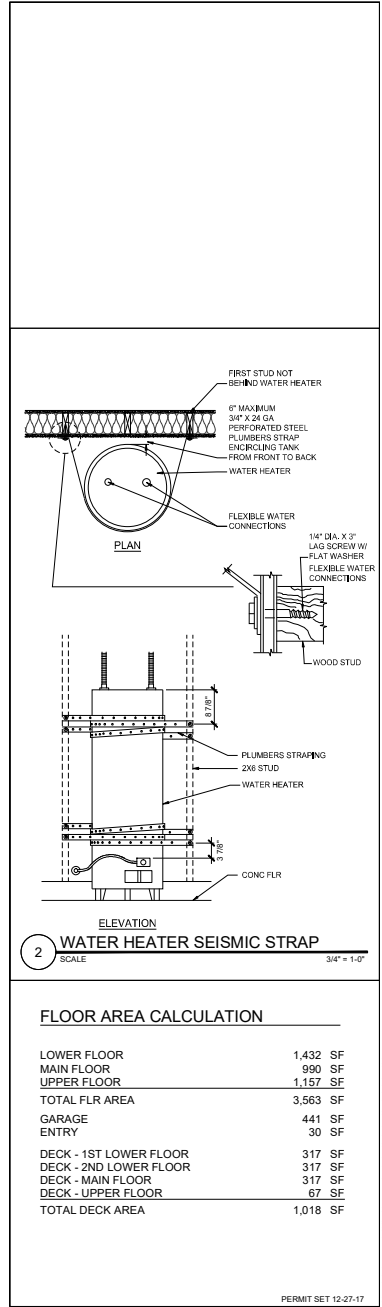
**MAIN FLOOR PLAN**  
 SHEET NUMBER

**A2.1**



**1 UPPER FLOOR PLAN**  
SCALE 1/4" = 1'-0"  
1,157 SF

- NOTES:**
- A0.2 WALL ASSEMBLY
  - A7.1 SCHEDULE OF WINDOWS
  - A8.1 SCHEDULE OF DOORS
- LEGEND**
- SHEAR WALL LOCATION  
SEE S1.0 SHEAR WALL SCHEDULE
  - EXTERIOR/ INTERIOR WALL
  - RECESSED EXHAUST FAN VENTED TO OUTSIDE.  
FAN TO PROVIDE MINIMUM CFM OF 80 CFM AND BY A  
SELF-TIME TO DEHUMIDISTATE.
  - SMOKE DETECTOR LOCATIONS
  - COMBINATION SMOKE / CARBON MONOXIDE  
DETECTOR LOCATIONS



**FLOOR AREA CALCULATION**

LOWER FLOOR	1,432 SF
MAIN FLOOR	990 SF
UPPER FLOOR	1,157 SF
<b>TOTAL FLR AREA</b>	<b>3,563 SF</b>
GARAGE	441 SF
ENTRY	30 SF
DECK - 1ST LOWER FLOOR	317 SF
DECK - 2ND LOWER FLOOR	317 SF
DECK - MAIN FLOOR	317 SF
DECK - UPPER FLOOR	67 SF
<b>TOTAL DECK AREA</b>	<b>1,018 SF</b>



**TAHRAN ARCHITECTURE & PLANNING LLC**  
13741 KNIAUS ROAD LAKE OSWEGO, OREGON 97034  
T (503) 639 8802 | F (503) 697 1985 | e rtahran@tacomail.net

**LOT 1 CITY LIGHTS RESIDENCE**  
LOT 1 SW CARDINELL WAY PORTLAND, OR 97201

CHECKED BY RALPH TAHRAN  
DRAWN BY ROM  
NO. DATE ISSUE/REVISION  
0 12.27.17 PERMIT SET

PROJ. NO.  
2015-027

10-05-15  
SHEET CONTENTS

UPPER  
FLOOR PLAN

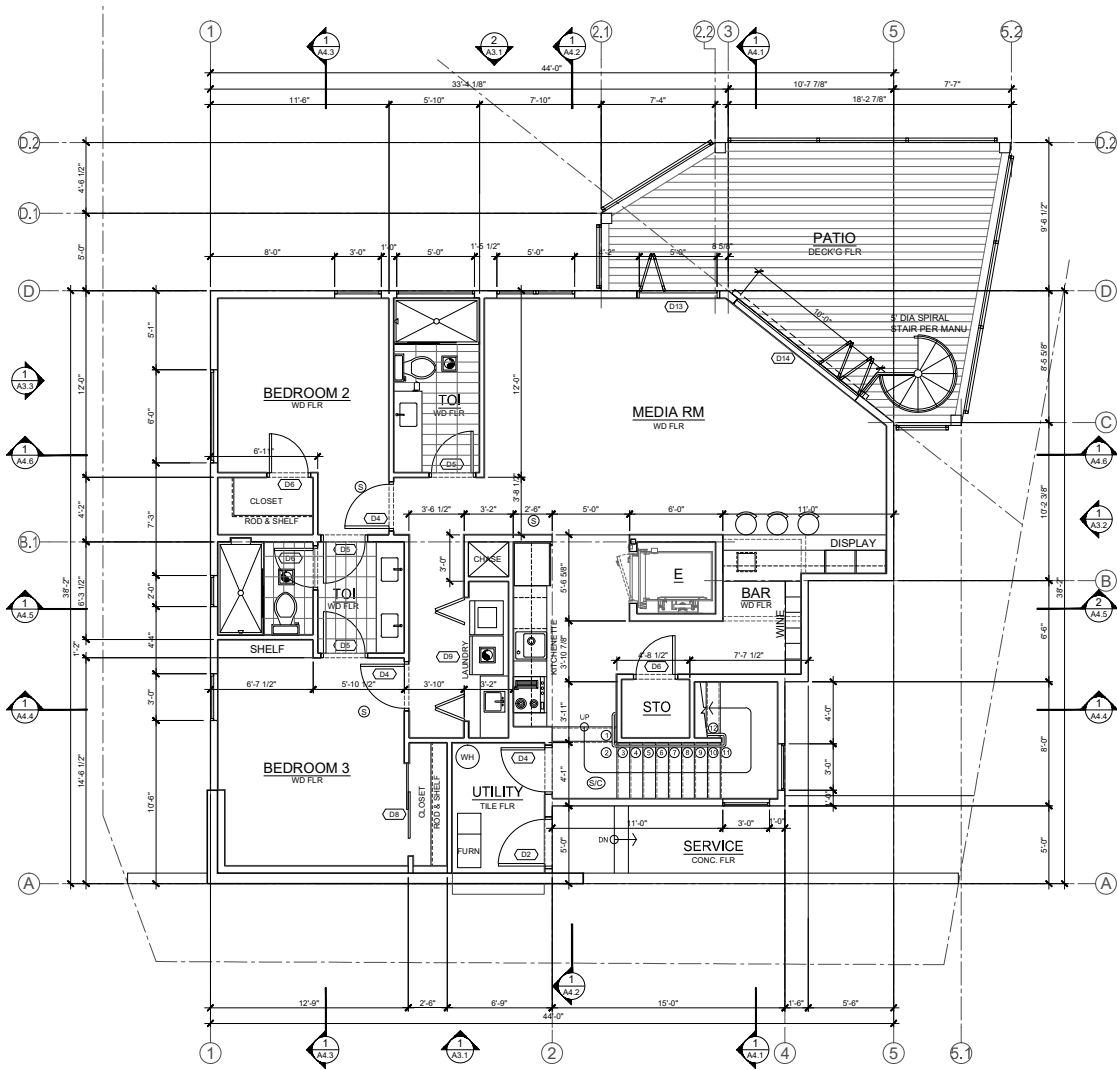
SHEET NUMBER

**A2.2**

CONTRACT: TAHRAN ARCHITECTURE & PLANNING, LLC 10000 NE PROSPECT AVENUE PORTLAND, OREGON

PERMIT SET 12-27-17





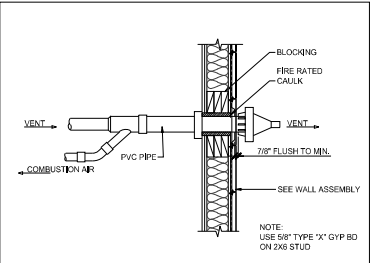
**1 FIRST LOWER FLOOR PLAN** 1,432 SF  
SCALE 1/4" = 1'-0"

**NOTES:**

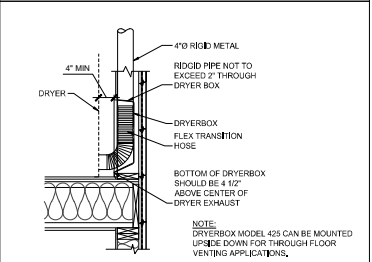
- A0.2 WALL ASSEMBLY SEE S1.0 SHEAR WALL SCHEDULE
- A7.1 SCHEDULE OF WINDOWS
- A8.1 SCHEDULE OF DOORS

**LEGEND**

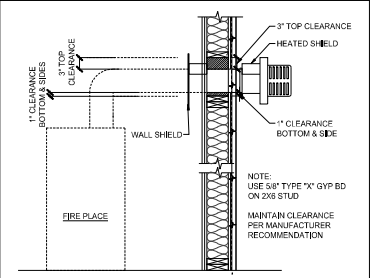
- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
- EXTERIOR/ INTERIOR WALL
- RECESSED EXHAUST FAN VENTED TO OUTSIDE. FAN TO PROVIDE MINIMUM CFM AND BY A SELF-TIME TO DEHUMIDISTATE.
- SMOKE DETECTOR LOCATIONS
- COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS



**4 FURNACE VENT DETAIL**  
SCALE 3/4" = 1'-0"



**3 DRYER VENT DETAIL TYP**  
SCALE 3/4" = 1'-0"



**2 GAS FIREPLACE VENT DETAIL**  
SCALE 3/4" = 1'-0"

**FLOOR AREA CALCULATION**

LOWER FLOOR	1,432 SF
MAIN FLOOR	990 SF
UPPER FLOOR	1,157 SF
<b>TOTAL FLR AREA</b>	<b>3,563 SF</b>
GARAGE	441 SF
ENTRY	30 SF
DECK - 1ST LOWER FLOOR	317 SF
DECK - 2ND LOWER FLOOR	317 SF
DECK - MAIN FLOOR	317 SF
DECK - UPPER FLOOR	67 SF
<b>TOTAL DECK AREA</b>	<b>1,018 SF</b>



**TAHRAN ARCHITECTURE & PLANNING LLC**  
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034  
T (503) 639 8602 | F (503) 697 1985 | e ralph.tahran@cmcaast.net

**LOT 1 CITY LIGHTS RESIDENCE**  
LOT 1 SW CARDINELL WAY PORTLAND, OR 97201

CHECKED BY RALPH TAHRAN  
DRAWN BY ROM  
NO. DATE ISSUE/REVISION  
0 12.27.17 PERMIT SET

PROJ. NO.  
2015-027

10-05-15  
SHEET CONTENTS

1ST LOWER FLOOR PLAN

SHEET NUMBER

**A2.3**